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CANYON CNTY RECORDER

P. M. McLaughlin

REQUEST *Vista Ridge Sub*
TYPE *Final* FEE *78⁰⁰*

FILED FOR RECORD AT THE REQUEST OF
AND WHEN RECORDED RETURN TO:
Vista Properties, L.L.C.
c/o Kenneth M. Elliott, Legal Counsel
661 South Rivershore Lane, Suite 120
Eagle, ID 83616
Telephone (208) 938-4655
VFPhase2FirstAmMasterDec
1/20/2006 1:29 PM

Nampa, Idaho

**FIRST AMENDMENT TO MASTER DECLARATION OF
COVENANTS, CONDITIONS & RESTRICTIONS
FOR VISTA RIDGE**

Declarant: Vista Properties L.L.C.,
An Idaho Limited Liability Company

Abbreviated Legal Description: A portion of the SW ¼, Section 3, and a portion of the NW ¼ of the NW ¼, Section 10, and a portion of the NE ¼ of the NE ¼, Section 9, and a portion of the SE ¼ of the SE ¼, Section 4, all in Township 2 North, Range 2 West, Boise Meridian, Canyon County, Idaho, comprised of 52 ± acres.

Assessor's Tax Parcel: R29223000-0

Related documents: Canyon County Recorder's Instrument No. 200440502

This **First Amendment to Master Declaration of Covenants, Conditions & Restrictions for Vista Ridge**, dated as of January 23, 2006 (this "**First Amendment**"), amends that certain Master Declaration of Covenants, Conditions & Restrictions for Vista Ridge, dated as of July 26, 2004 (the "**Master Declaration**"), filed for record July 27, 2004 as Canyon County Recorder's Instrument No. 200440502 by **Vista Properties, LLC**, an Idaho limited liability company (referred to herein as the "**Declarant**").

ARTICLE 1 - RECITALS

WHEREAS, the Master Declaration provides a common plan and scheme for development of Vista Ridge Phase 1, and further provides that the property described therein shall be held, sold and conveyed subject to covenants, conditions and restrictions, which shall run therewith and bind all parties having or acquiring any right, title or interest in the Property or any Lot or part thereof, and shall inure to the benefit of each Owner;

WHEREAS, the Declarant has now purchased and constructed site improvements on the land comprising Vista Ridge Phase 2 and intends to extend and impose over and against Vista Ridge Phase 2 the common plan and scheme for development established by the Master Declaration;

WHEREAS, the Declarant also elects to make certain additions and modifications to the Master Declaration;

NOW, THEREFORE, the Declarant hereby amends the Master Declaration, by adding the underlined text and deleting the stricken text, to read as follows:

ARTICLE 2 – AMENDMENTS

1. Capitalized terms used but not defined herein shall have the meanings given them in the Master Declaration.

2. The Exhibit "A" attached to the Master Declaration is deleted and the Exhibit "A" attached to this First Amendment is substituted therefor. All references to Exhibit "A" in the Master Declaration or in this First Amendment shall refer to Exhibit "A" attached to this First Amendment.

3. A new second Recital shall be added immediately following the first Recital under Article 1 of the Master Declaration, to read:

WHEREAS, Declarant is also the owner of the parcel or parcels of real property described as Phase 2 of VISTA RIDGE, a subdivision located at the northeast corner of 12th Avenue Road and East Locust Lane in the City of Nampa, according to the Plat thereof filed for record on December 12, 2005, as Plat No. 200582833 in the Official Records of Canyon County, Idaho, containing 61 Residential Lots on 17.23± acres, and further described in Schedule "II" attached hereto and made a part hereof (the "Phase 2 Property").

The existing second Recital to the Master Declaration shall become the third Recital.

4. Paragraph 2.5 of the Master Declaration is hereby amended to read:

2.5 Commercial Declaration. That certain Declaration of Restrictions and Easements (Self Maintenance) for Vista Ridge Commercial Lots filed for record on October 28, 2004, this date as Instrument No. 200459857 at Book No. _____, Page No. _____, in the Official Records of Canyon County, Idaho.

5. Paragraph 2.16 of the Master Declaration is hereby amended to read:

2.16 Property. The parcel or parcels of real property described as **Block 1**, Lots 1 through 15; **Block 2**, Lot 1; **Block 3**, Lots 1 through 7; **Block 4**, Lot 1 ; **Block 5**, Lots 1 through 8; **Block 6**, Lots 1 through 20; **Block 7**, Lot 1; **Block 8**, Lot 1; **Block 9**, Lots 1 through 4; and **Block 10**, Lots 1 and 2; **VISTA RIDGE SUBDIVISION PHASE 1**, according to the Plat

thereof filed for record on July 14, 2004, as Plat No. 200438199, in the Official Records of Canyon County, Idaho (the "**Phase 1 Property**"):-.

Together with the parcels of real property described as **Block 1**, Lots 17 through 52; **Block 3**, Lots 8 through 13; **Block 11**, Lot 1; **Block 12**, Lot 1; **Block 13**, Lots 1 through 11; **Block 14**, Lots 1 through 8; and **Block 15**, Lot 1; **VISTA RIDGE SUBDIVISION PHASE 2**, according to the Plat thereof filed for record on December 12, 2005, as Plat No. 200582833 in the Official Records of Canyon County, Idaho (the "**Phase 2 Property**").

The Phase 1 Property and the Phase 2 Property shall be referenced, collectively, as the "**Property**."

6. A new Section 3.7 shall be added, to read as follows:

"3.7 Notice to Owners Regarding Pressure Irrigation Systems. Water from the pressure irrigation system on the Property is unfit for human consumption. It contains untreated surface water which may contain disease-causing organisms and/or other contaminants. If you drink this water it is likely that it will make you sick and, while less likely, it is possible that the illness will result in your death or permanent disability. Surface water can also contain agricultural chemicals that can be hazardous to your health. DO NOT UNDER ANY CIRCUMSTANCES DRINK WATER FROM THE PRESSURE IRRIGATION SYSTEM. Owners should ensure that all irrigation water faucets and risers on their Lot are adequately marked. Do not remove tags or other warning markings from the pressure irrigation risers. If you should find a riser that is unmarked, please refer to the Southwest District Health Department for information on the type of warning that must be used. Owners should also satisfy themselves that no cross connections between the potable water system and the pressure irrigation system were made by the previous Owner. Never interconnect your drinking water and pressure irrigation systems. If you have any questions or concerns about the pressure irrigation system in Vista Ridge, please contact your local district health department or the department of environmental quality at the numbers listed below:

Southwest District Health Department (208) 455-5400
Department of Environmental Quality (208) 373-0550"

7. A new Section 3.8 shall be added, to read as follows:

"3.8. Dedication of Lot 1, Block 1. Declarant hereby dedicates and conveys Lot 1, Block 1 to the City of Nampa for a public pedestrian/bike pathway, subject to Pioneer Irrigation District's existing easement rights pertaining to the Robinson Lateral. The landscaping, an 8-foot wide pathway and a 6-foot high fence on said Lot shall be installed by Developer and, upon completion and acceptance by the City of Nampa, shall be owned and maintained by the City of Nampa, in compliance with Paragraph 2 of the Development Agreement between the City and Developer dated September 30, 2003. The uses of said Lot shall be restricted in compliance with the Pioneer Irrigation District requirements across said District's easements."

8. Paragraphs 5.1, 5.2 and 5.3 of the Master Declaration are hereby amended to read:

“5.1 General Assessments. General assessments shall be used exclusively for the purpose of promoting the value and desirability of the Property for the mutual benefit of all Owners, including, without limitation, the maintenance of the Common Areas as provided in Article III of this Declaration. There shall be no expenditure of funds belonging to the Association except: (a) as provided in this Article V, or (b) upon the concurrence of a simple majority of those the Owners of sixty-seven percent (67%) of the Lots in attendance and entitled to vote at the meeting when such expenditure is approved.

“5.2 Special Assessments. In addition to regular general assessments, special assessments may be levied for the purpose of defraying, in whole or in part, the cost of any construction, reconstruction, repair, equipment purchase or rental as necessary for the common benefit of the Owners. Any special assessment shall be levied only with the consent of a simple majority of those the Owners of Lots in attendance and entitled to vote at the meeting when such special assessment is approved, sixty-seven percent (67%) of all Lots, based upon voting rights as described in Paragraph 4.2 of this Declaration.

“5.3 Rate of Assessments. The Association shall assess and collect assessments from each Owner, except Declarant, based on the number of Lots owned by each Owner. Assessments shall be divided equally among all Lots and paid by each Owner annually, prior to the later of March 1st or thirty (30) days after the date of the Association’s Annual Meeting in the year for which they are assessed. The owners of any parcels subsequently added to this Declaration shall be deemed Owners, subject to all rights and obligations under this Declaration, including, without limitation, the payment of regular and special assessments levied hereunder. Assessments not paid when due shall be delinquent and shall bear interest at the rate of eighteen percent (18%) per annum, or the highest rate allowed by law. The Association may, at its option, publish a list of the names of Owners with delinquent assessments and/or file a lien against any delinquent Lot and foreclose the lien for collection of the delinquent assessment. Initial assessments shall be as specified on Exhibit "B" attached hereto and incorporated herein by reference. Assessments may be increased from time to time as determined by the concurrence of a simple majority of those the Owners of Lots in attendance and entitled to vote at the meeting when such assessment is increased of sixty-seven percent (67%) of all Lots, as provided in Paragraph 4.2 of this Declaration.”

9. A new Section 7.17 shall be added, to read as follows:

“7.17 Sale Of Home To Non-Resident Investors Prohibited. Each Owner who purchases a finished home on a Lot shall be obligated to move into the finished home on the Lot within thirty (30) days after closing its purchase and shall thereafter occupy the finished home and Lot as said Owner’s primary residence for a minimum of one (1) year, unless ill health, job transfer or other circumstance beyond said Owner’s control require earlier resale of the home.”

10. Section 8.3 shall be revised, to read as follows:

8.3 Building Envelope and Setbacks. All buildings, paving, grading, and construction activities must be contained entirely within Building Envelopes designated on the Plans and Elevations. Building setbacks imposed by the City of Nampa zoning code on

Residential Lots are as follows: Front yard – 20 feet, ~~Street side yard – 10 feet~~, Side yard – 5 feet on one side and 10 ft. on the other side (the minimum width between homes not to be less than 15 ft); Side yard along street side of corner lot – 10 ft., except for side yard with side entrance garage – 20 ft.; and Rear yard – 5 feet – 8 ft.

11. Section 8.7, Subsections (e) and (f) shall be revised, to read as follows:

8.7 Fences and Hedges. Fences are not required to be erected on any Lot, except on rear lot lines as specified herein.

(d) Except as otherwise specifically provided herein, rear or side yard fences on corner lots shall not be built closer than ten (10) twenty feet to any side or rear street right-of-way without ARC approval.

(e) Where any rear lot line abuts the common area bordering South 12th Avenue, East Locust Lane, the commercial-zoned parcels at the northwesterly and southwesterly corners of Vista Ridge, or the easterly boundary of Vista Ridge extending from the Robinson Lateral to Locust Lane, Declarant shall, at its expense, the owners of said lots shall, without exception, construct a Privacy Fence on said rear lot lines.

(f) Where any rear lot line abuts the common area bordering the Robinson Lateral on the northeasterly boundary of Vista Ridge, Declarant shall, at its expense, the owners of said lots shall, without exception, construct either a Privacy Fence or a Common Area Fence not exceeding sixfive (65) feet in height.

12. Section 8.12 shall be revised, to read as follows:

8.12 Mail Boxes. U.S. Mail shall be delivered only at locations specified by the U.S. Postal Service and in boxes conforming to U.S. Postmaster and Declarant's requirements. Each Owner shall purchase a mailbox and post from Declarant. The Owner shall be responsible for installing the mailbox and post provided by Declarant, either at a shared location identified by Declarant on the sidewalk, if attached to the curb, or on a shared cement pad (poured at Declarant's expense) in the landscape strip if the sidewalk is detached from the curb. U.S. Mail boxes shall be installed adjacent to the driveway apron on each Lot, in a masonry enclosure or on a post and, in either case, using a design approved by the ARC. No other mail boxes may be erected upon any Lot.

13. Section 8.13 shall be revised, to read as follows:

8.13 Front Yard & Driveway Lighting. Front yard and driveway lighting shall be optional. If installed, such lighting shall not be on poles but shall be on or in rectangular monuments not taller than 3 ½ feet tall and designed with colors and materials (either masonry, stucco, stone or siding) matching the front elevation of the residence.

14. Section 9.8 shall be revised, to read as follows:

9.8 Notices. Any notice required or permitted by this Declaration shall be in writing and shall be deemed to have been properly given when: (i) actually received or personally served, (ii) twenty four (24) hours after deposit with Federal Express or equivalent overnight delivery service, postage fully prepaid, or (iii) forty eight (48) hours after deposit in the United States mail, postage fully prepaid, registered or certified, return receipt requested; addressed as provided in the records of the Canyon County assessor for mailing tax invoices to the Owner being notified; and addressed to the Declarant as follows:

Vista Properties, L.L.C.
C/o Vision First, L.L.C.
~~Vision Land Management, L.L.C.~~
661 South Rivershore Lane, Suite 120
Eagle, ID 83616


With a copy to:
Vision First, L.L.C.
8513 N.E. Hazel Dell Avenue, Suite 201
~~Vancouver, WA 98665~~

15. Except as expressly modified by this First Amendment, the Master Declaration shall remain in full force and effect.

IN WITNESS WHEREOF, the Declarant has executed this First Amendment as of the date first above written.

DECLARANT:
Vista Properties, L.L.C.
An Idaho limited liability company

By: **Vision First, L.L.C.,**
a Washington limited liability company,
Managing Member

By: 
Randal S. Clarno, Managing Member

FINAL FLAT
VISTA RIDGE SUBDIVISION PHASE 'A'
 A PORTION OF THE SW 1/4 OF SECTION 3,
 TOWNSHIP 2 NORTH, RANGE 2 WEST, BOISE MERIDIAN,
 NAMPA, CANYON COUNTY, IDAHO

2004
 FOX LAND SURVEYS, INC.
 2004



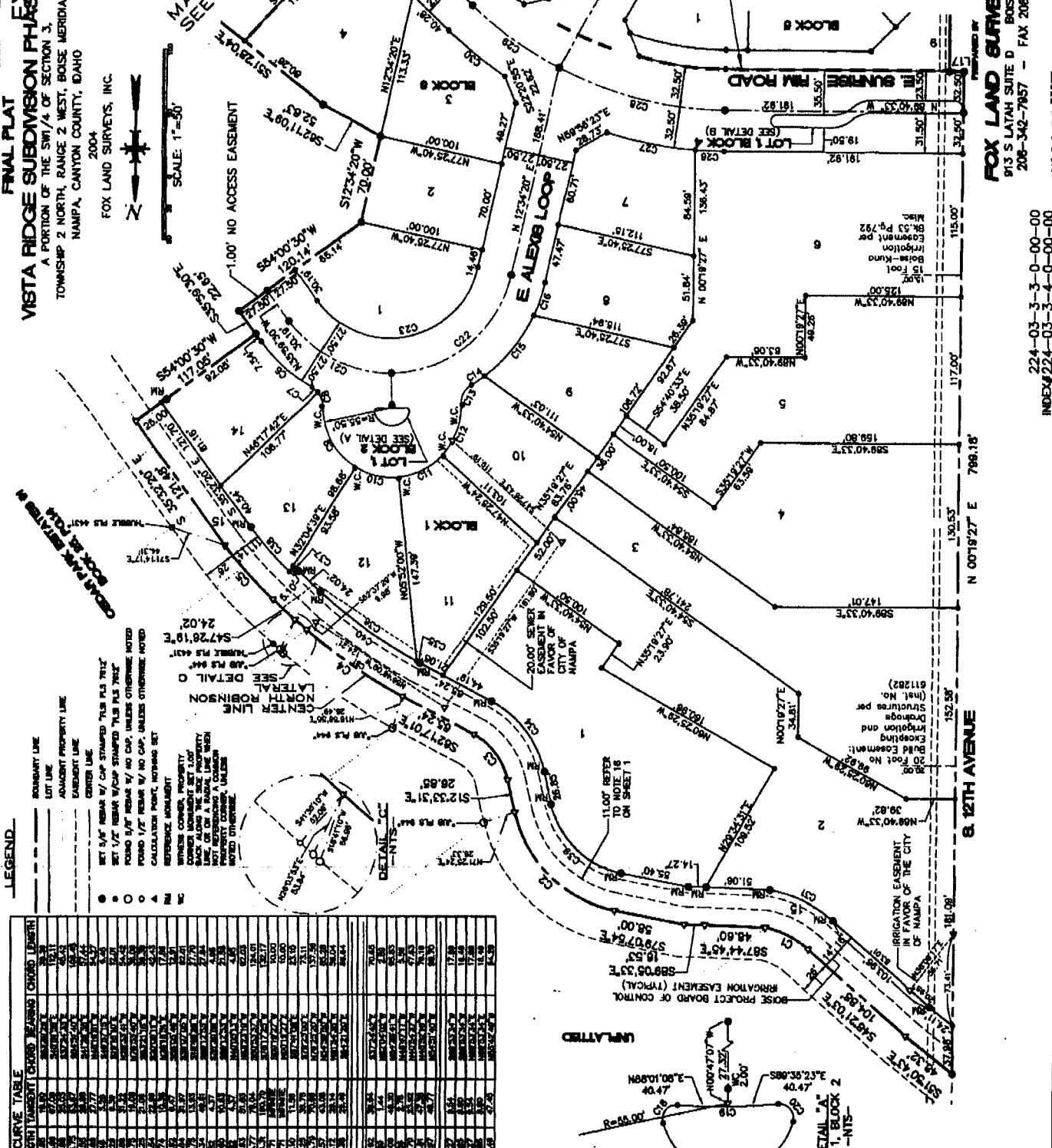
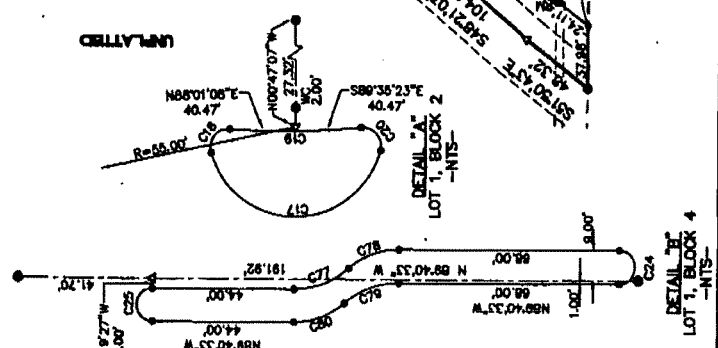
FOX LAND SURVEYS, INC.
 913 S LATAH SUITE D BOISE, ID 83705
 208-342-7957 - FAX 208-342-7437

LEGEND

- BOUNDARY LINE
- LOT LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- CENTER LINE
- SET 5/8" REBAR BY CAP STAMPED "FLR PLS THIS" WITH
- SET 1/2" REBAR W/CAP STAMPED "PLS PLS THIS"
- FOUND 3/4" REBAR BY NO CAP, UNLESS OTHERWISE NOTED
- FOUND 1/2" REBAR BY NO CAP, UNLESS OTHERWISE NOTED
- CALCULATION POINT, UNLESS SET
- REFERENCE POINT, UNLESS SET
- SPRINGS CORNER, PROPERTY
- CORNER MARKER SET 1.50"
- OWNER'S CORNER SET 1.50"
- LINE OR ON A BARRIAGE FENCE WITH
- NOT REPRESENTING A CORNER
- NOTED ON THIS CORNER, UNLESS
- NOTED ON THIS CORNER.
- NO
- MC

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD	BEARINGS	CHORD LENGTH
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C2	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
C3	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
C4	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
C5	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
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C10	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
C11	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
C12	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
C13	100.00	180.00	314.16	0.00	0.00	S00°00'00"W	314.16
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224-03-3-3-0-00-00
 INDEX 224-03-3-4-0-00-00

FINAL PLAN EXHIBIT 'A'

VISTA RIDGE SUBDIVISION PHASE 1
 A PORTION OF THE SW 1/4 OF SECTION 3,
 TOWNSHIP 2 NORTH, RANGE 2 WEST, BOISE MERIDIAN,
 NAMPA, CANYON COUNTY, IDAHO
 2004
FOX LAND SURVEYS, INC.

LEGEND

- BOUNDARY LINE
- - - LOT LINE
- - - ADJACENT PROPERTY LINE
- - - EASEMENT LINE
- - - COVER LINE

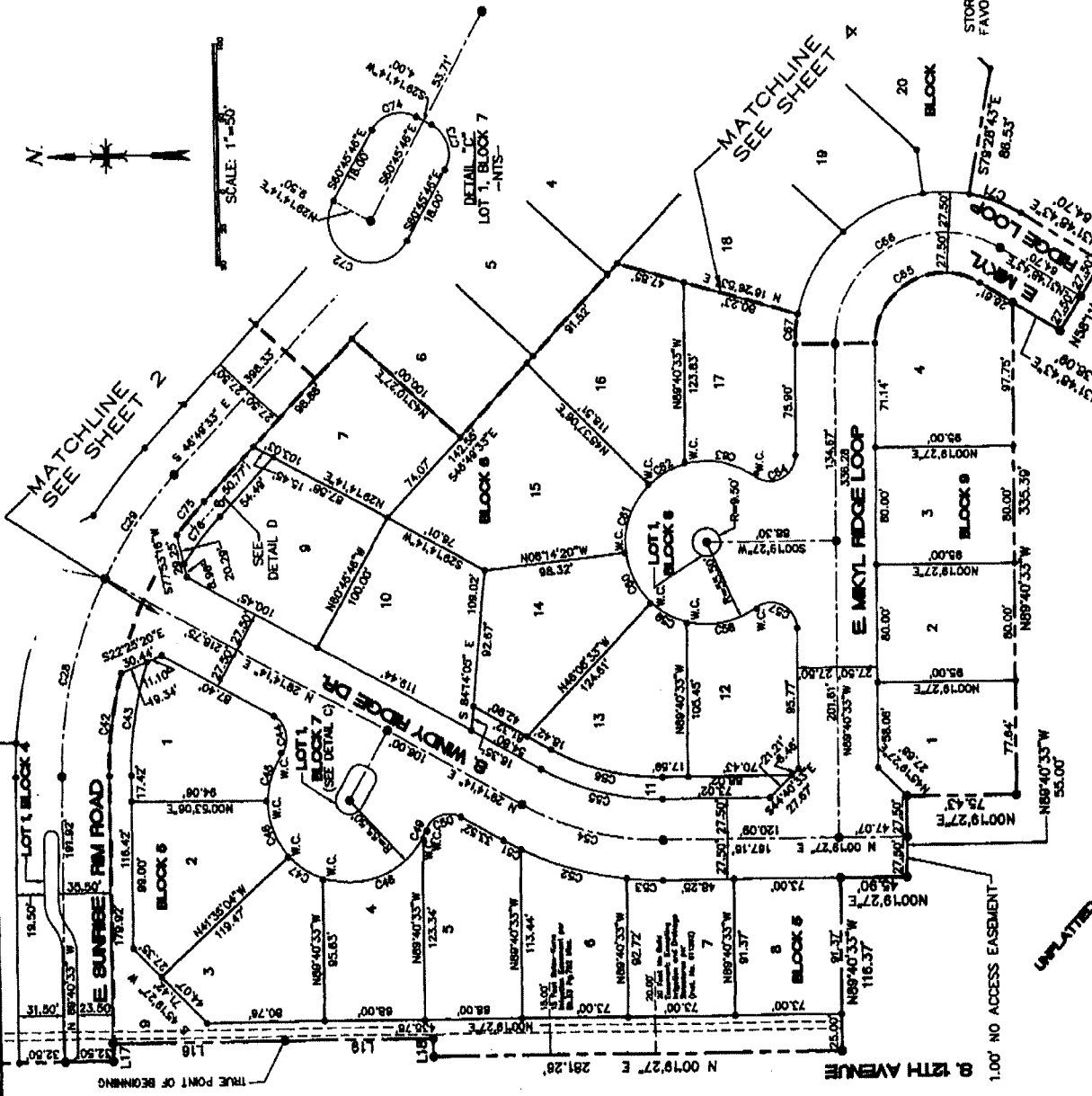
- SET 5/8" REBAR W/ CAP STAMPED "PLS PLS 7012"
- SET 1/2" REBAR W/ CAP STAMPED "PLS PLS 7012"
- FOUND 5/8" REBAR W/ NO CAP, UNLESS OTHERWISE NOTED
- FOUND 1/2" REBAR W/ NO CAP, UNLESS OTHERWISE NOTED
- ▲ CALCULATION POINT, NOTHING SET
- ▲ REFERENCE POINT, NOTHING SET
- ▲ INTERIOR CORNER, PROPERTY
- ▲ CORNER MONUMENT SET LOT
- ▲ BACK ALONG THE SEE PROPERTY
- ▲ MONUMENT SET ALONG A COMMON
- ▲ PROPERTY CORNER, UNLESS
- ▲ NOTED OTHERWISE.

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD	BEARING	CHORD LENGTH
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C03	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C04	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
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C06	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C07	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C08	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C09	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
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C18	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
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C21	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C22	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
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C24	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
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C42	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C43	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C44	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C45	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C46	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C47	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C48	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C49	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39
C50	272.50	120.00	76.39	36.00	100.00	N89°57'27"E	76.39



PREPARED BY
FOX LAND SURVEYS, INC.
 913 S LATAH SUITE D BOISE, ID 83705
 208-342-7957 - FAX 208-342-7437



LINE TABLE

LINE	BEARING	LENGTH
L16	N0019'27"E	118.11
L17	N89°40'33"W	12.00
L18	S88°40'33"E	12.00
L19	N0019'27"E	100.89

1.00' NO ACCESS EASEMENT
 UNPLATTED

224-03-3-3-0-00-00
 INDEX# 224-03-3-4-0-00-00

FINAL FLAT EXHIBIT 'A'

VISTA RIDGE SUBDIVISION PHASE 3
 A PORTION OF THE SW 1/4 OF SECTION 3,
 TOWNSHIP 2 NORTH, RANGE 2 WEST, BOISE MERIDIAN,
 NAMPA, CANYON COUNTY, IDAHO
 2004
 FOX LAND SURVEYS, INC.

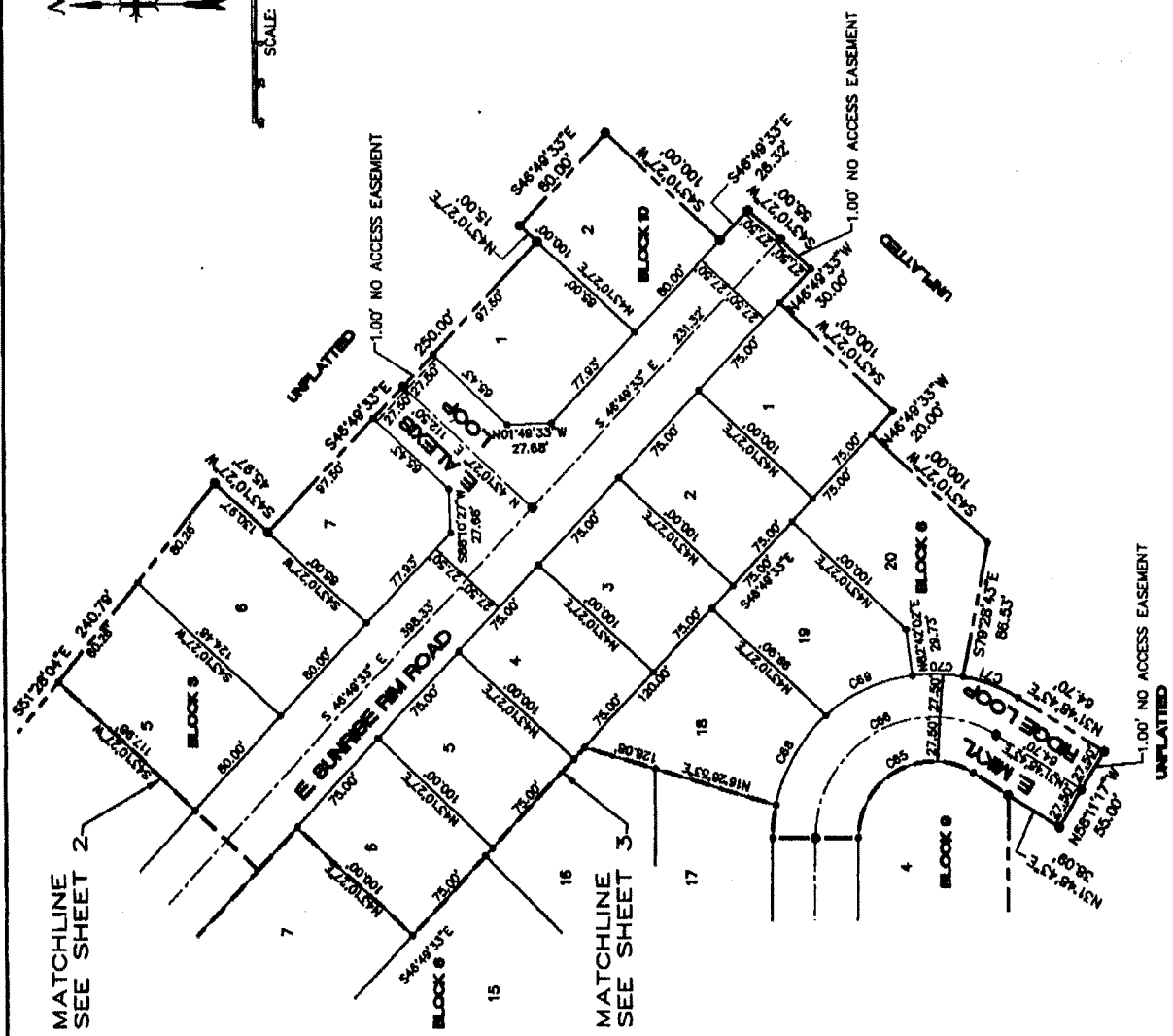


SCALE: 1"=50'

LEGEND

- BOUNDARY LINE
- - - LOT LINE
- - - ADJACENT PROPERTY LINE
- - - EASEMENT LINE
- - - CENTER LINE
- SET 5/8" REBAR W/ CAP STAMPED "FLS PLS 7/12"
- SET 1/2" REBAR W/ CAP STAMPED "FLS PLS 7/12"
- FOUND 5/8" REBAR W/ NO CAP, UNLESS OTHERWISE NOTED
- FOUND 1/2" REBAR W/ NO CAP, UNLESS OTHERWISE NOTED
- △ CALCULATION POINT, NOTHING SET
- REFERENCE MONUMENT

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD	BEARING	CHORD LENGTH
C1	47.50	101.2871°	100.72	100.72	100.72	100.72	100.72
C2	75.00	101.2871°	150.00	150.00	150.00	150.00	150.00
C3	100.00	101.2871°	200.00	200.00	200.00	200.00	200.00
C4	125.00	101.2871°	250.00	250.00	250.00	250.00	250.00
C5	150.00	101.2871°	300.00	300.00	300.00	300.00	300.00
C6	175.00	101.2871°	350.00	350.00	350.00	350.00	350.00
C7	200.00	101.2871°	400.00	400.00	400.00	400.00	400.00
C8	225.00	101.2871°	450.00	450.00	450.00	450.00	450.00
C9	250.00	101.2871°	500.00	500.00	500.00	500.00	500.00
C10	275.00	101.2871°	550.00	550.00	550.00	550.00	550.00
C11	300.00	101.2871°	600.00	600.00	600.00	600.00	600.00
C12	325.00	101.2871°	650.00	650.00	650.00	650.00	650.00
C13	350.00	101.2871°	700.00	700.00	700.00	700.00	700.00
C14	375.00	101.2871°	750.00	750.00	750.00	750.00	750.00
C15	400.00	101.2871°	800.00	800.00	800.00	800.00	800.00
C16	425.00	101.2871°	850.00	850.00	850.00	850.00	850.00
C17	450.00	101.2871°	900.00	900.00	900.00	900.00	900.00
C18	475.00	101.2871°	950.00	950.00	950.00	950.00	950.00
C19	500.00	101.2871°	1000.00	1000.00	1000.00	1000.00	1000.00



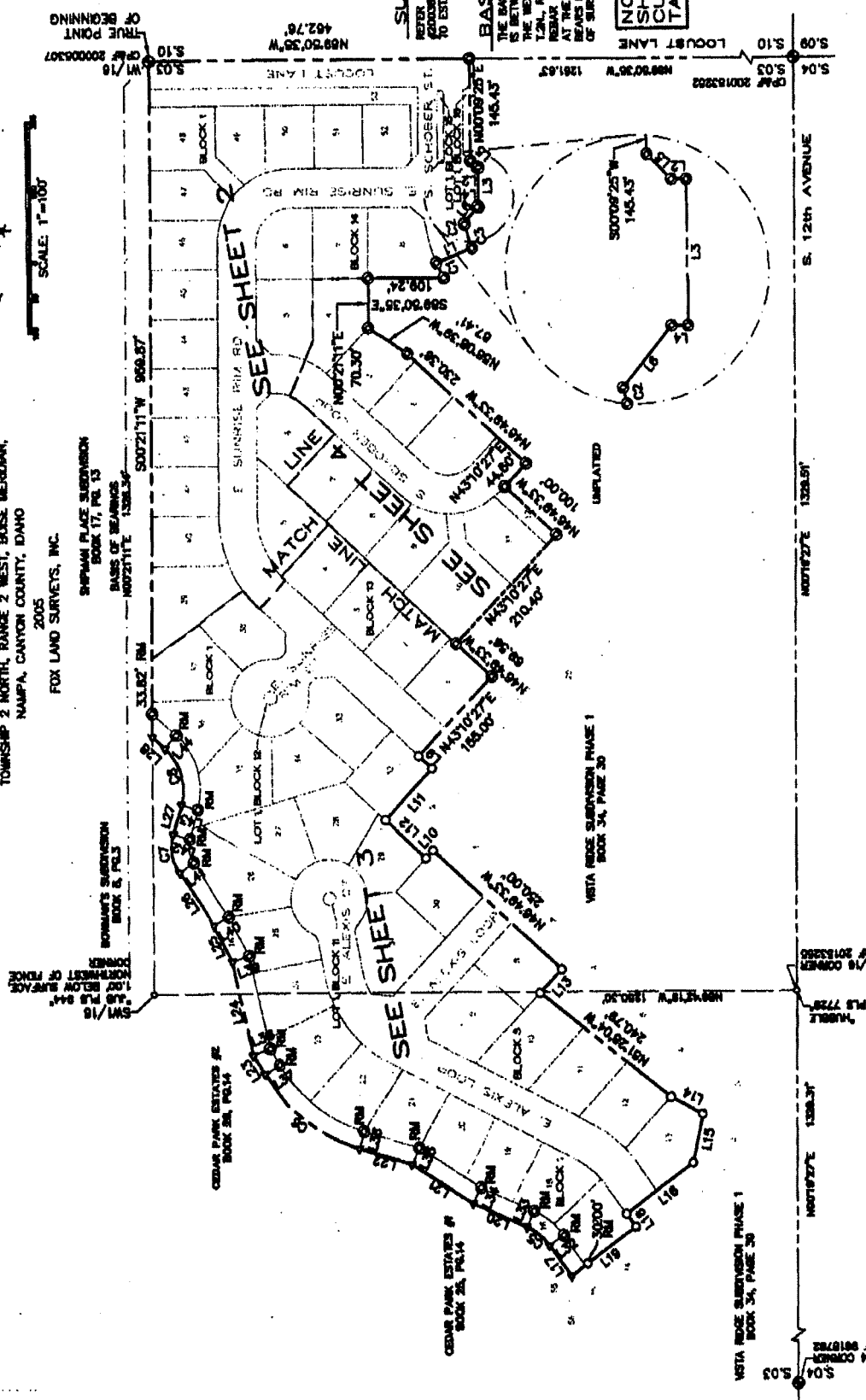
PREPARED BY
FOX LAND SURVEYS, INC.
 913 S LATAH SUITE D BOISE, ID 83705
 208-342-7857 - FAX 208-342-7437

224-03-3-3-0-00-00
 INDEX#224-03-3-4-0-00-00

ASAD DMS FILE 350PP

FINAL FLAT
WEST RIDGE SUBDIVISION PHASE 2
A PORTION OF THE SW1/4 OF SECTION 3,
TOWNSHIP 2 NORTH, RANGE 2 WEST, BOISE MERIDIAN,
SANDIA COUNTY, NEW MEXICO

DATE: 03/12/05
BY: [Signature]
PROJECT: WEST RIDGE SUBDIVISION PHASE 2



SURVEY NOTE:
REFER TO RECORD OF SURVEY INSTRUMENT NO. 2005000307 FOR RECORD DATA USED TO ESTABLISH THE EXTERIOR BOUNDARY.

BASIS OF BEARING:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE FOUND BRASS CAP AT THE WEST 1/8 CORNER OF SECTION 3, T2N, R2W, AND THE FOUND 5/8 INCH REBAR WITH CAP STAMPED "JIB PLS 944" AT THE SOUTHWEST 1/8 CORNER AND BEARS ADJUSTIVE AS SHOWN OF RECORD INSTRUMENT #071791.

NOTE: SEE SHEET 4 FOR CURVE AND LINE TABLE AND NOTES.



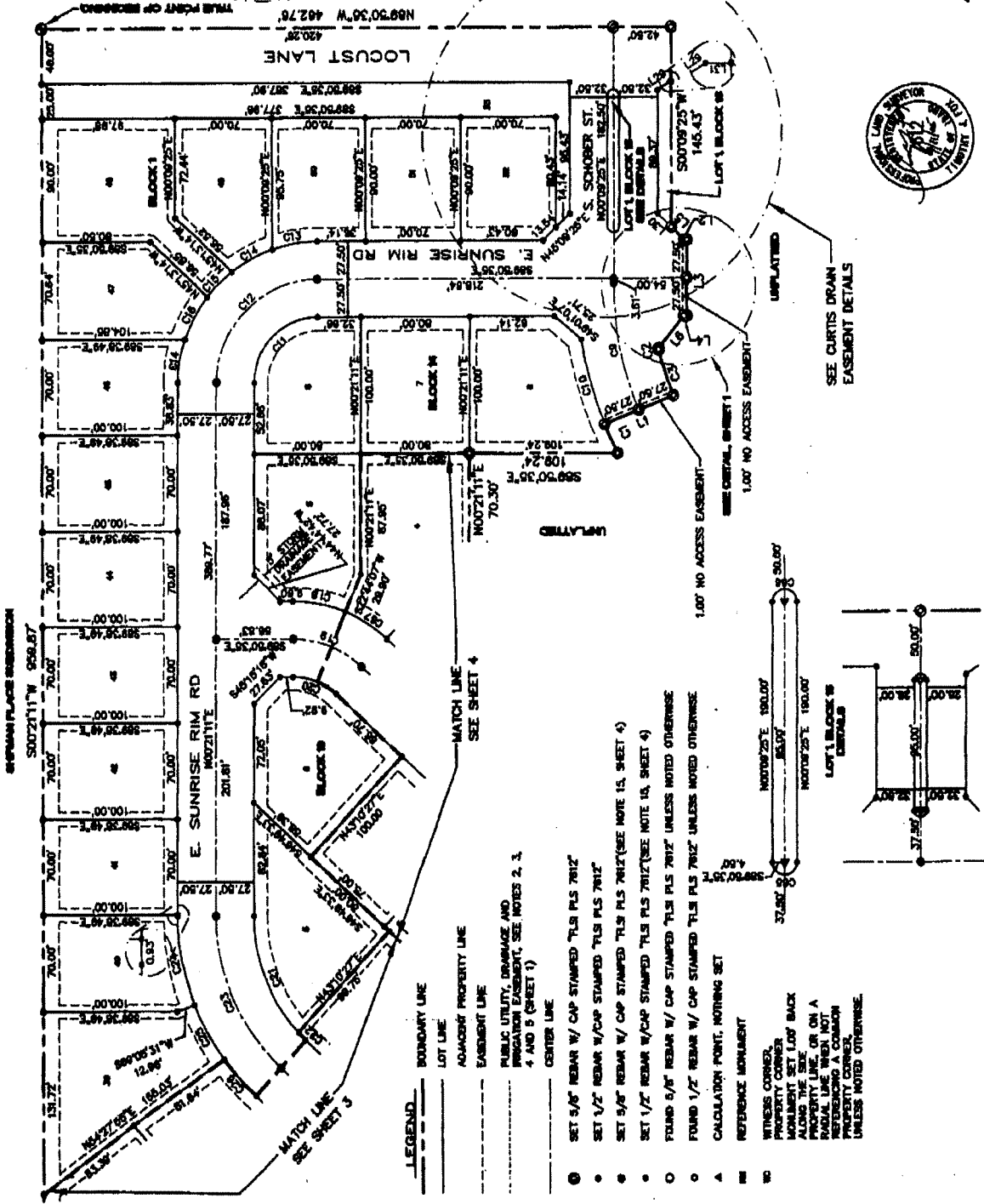
FOX LAND SURVEYS, INC.
4800 OVERLAND ROAD SUITE 102 BOISE ID 83705
208-342-7957 - FAX 208-342-7457
ASCS REG. FILE 33087-PRK(4-25-05) SHEET 1 OF 6

224-03-3-3-0-00-00
NOEX/224-03-3-4-0-00-00

- LEGEND**
- FOUND BRASS CAP MONUMENT
 - SET 5/8" REBAR WITH PLASTIC CAP STAMPED "JIB PLS 944"
 - SET 1/2" REBAR WITH PLASTIC CAP STAMPED "JIB PLS 944"
 - FOUND 5/8" REBAR W/CAP STAMPED "JIB PLS 944" UNLESS NOTED OTHERWISE
 - FOUND 1/2" REBAR W/CAP STAMPED "JIB PLS 944" UNLESS NOTED OTHERWISE
 - ▲ CALCULATED POINT, NOTHING FOUND ON SET
 - RM REFERENCE MONUMENT
 - SUBDIVISION BOUNDARY LINE
 - LOT LINE
 - SECTION LINE
 - 1/8" SECTION LINE
 - TIE LINE
 - MATCH LINE

FINAL PLAT
VISTA RIDGE SUBDIVISION PHASE 2
 A PORTION OF THE SW 1/4 OF SECTION 3,
 TOWNSHIP 2 NORTH, RANGE 2 WEST, BOISE MERIDIAN,
 BLAINE, CANYON COUNTY, IDAHO

2005
 FOX LAND SURVEYS, INC.

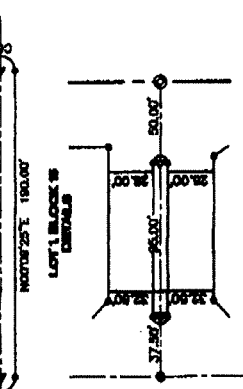


PREPARED BY
FOX LAND SURVEYS, INC.
 4686 OVERLAND ROAD SUITE 162 BOISE ID 83705
 208-342-7687 - FAX 208-342-7437

224-03-3-3-0-00-00
 NOC4224-03-3-4-0-00-00
 ACAP ENG. FILE 330FP-PH2(1-25-05) SHEET 2 OF 6

- LEGEND**
- BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - EASEMENT LINE
 - PUBLIC UTILITY, DRAINAGE AND IRRIGATION EASEMENT, SEE NOTES 2, 3, 4 AND 5 (SHEET 1)
 - CENTER LINE

- SET 6/8" REBAR W/ CAP STAMPED "FLR PLS 7812"
- SET 1/2" REBAR W/ CAP STAMPED "FLR PLS 7812"
- SET 5/8" REBAR W/ CAP STAMPED "FLR PLS 7812" (SEE NOTE 1A, SHEET 4)
- SET 1/2" REBAR W/ CAP STAMPED "FLR PLS 7812" (SEE NOTE 1A, SHEET 4)
- FOUND 6/8" REBAR W/ CAP STAMPED "FLR PLS 7812" UNLESS NOTED OTHERWISE
- FOUND 1/2" REBAR W/ CAP STAMPED "FLR PLS 7812" UNLESS NOTED OTHERWISE
- ▲ CALCULATION POINT, NOTHING SET
- REFERENCE MONUMENT
- WIRELESS CORNER
- MONUMENT SET 1.00' BACK ALONG THE SIZE PROPERTY LINE, OR ON A RADIAL LINE WHEN NOT REFERENCING A COMMON MONUMENT CENTER, UNLESS NOTED OTHERWISE

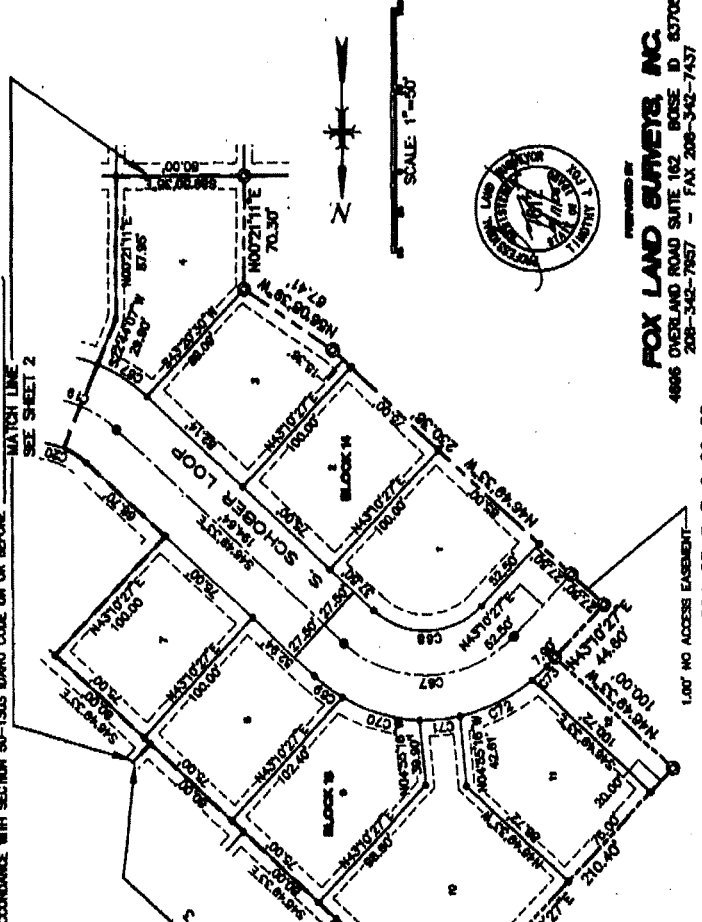


NOTE: SEE SHEET 4 FOR CURVE AND LINE TABLE AND NOTES.

EXHIBIT 'A'

FINAL PLAN VISTA RIDGE SUBDIVISION PHASE 2 A PORTION OF THE SW 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 2 WEST, BOSE MERIDIAN, HAWPA, CANYON COUNTY, IDAHO 2005 FOX LAND SURVEYS, INC.

- NOTES:**
- THIS SUBDIVISION IS SUBJECT TO COMPLIANCE WITH IDAHO CODE SECTION 31-3005 CONCERNING IRRIGATION USE.
 - ALL LOTS ARE HEREBY DESIGNATED AS HAVING A PERMANENT PUBLIC UTILITIES, DRAINAGE, AND IRRIGATION EASEMENT OVER THE TEN (10) FEET CONTIGUOUS TO AND PARALLEL WITH ROAD RIGHTS-OF-WAY; HOWEVER, THIS SHALL NOT CONSTITUTE ANY EVIDENCE OF PROPER ROAD SURFACE DIMENSIONS FOR ACCESS TO EACH INDIVIDUAL LOT. ANY SPECIAL ELEMENTS ARE SHOWN ON THE PLAN, UNLESS OTHERWISE NOTED OR DIMENSIONED.
 - EACH SIZE OF COMMON LOT LINES HAVE A FIVE (5) FOOT PERMANENT PUBLIC UTILITIES, IRRIGATION AND DRAINAGE EASEMENT, UNLESS OTHERWISE NOTED OR DIMENSIONED.
 - AN EIGHT (8) FOOT WIDE PERMANENT PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENT SHALL BE PROVIDED ADJACENT TO AND PARALLEL WITH ALL INTERIOR REAR YARD LOT LINES (UNLESS DIMENSIONED OTHERWISE).
 - A TWELVE (12) FOOT WIDE PERMANENT PUBLIC UTILITY, DRAINAGE, AND IRRIGATION EASEMENT SHALL BE PROVIDED ALONG ALL EXTERIOR BOUNDARIES WHERE NO EASEMENT EXISTS ON THE ADJACING PROPERTY, OTHERWISE THE EASEMENT SHALL BE EIGHT (8) FEET IN WIDTH (UNLESS DIMENSIONED OTHERWISE).
 - ANY RESUBDIVISION OF THIS PLAN SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS IN EFFECT AT THE TIME OF RESUBDIVISION.
 - BUILDING SETBACKS SHALL CONFORM TO THE APPLICABLE ZONING REGULATIONS OF THE CITY OF HAWPA AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
 - DIRECT LOT ACCESS FROM LOCUST LAKE IS PROHIBITED UNLESS SPECIFICALLY APPROVED BY THE CITY OF HAWPA.
 - DEVELOPER HEREBY GRANTS TO AND EXPRESS FROM THE HAWPA LANDS, FROM LOT 16, BLOCK 16, LOCUST LAKE, THE RIGHT OF EGRESS AND EGRESS FROM THE HAWPA LANDS, FROM LOT 16, BLOCK 16, LOCUST LAKE, TO THE INTERIOR LOTS, BLOCK 15, LOT 11, BLOCK 11; LOT 12, BLOCK 12; LOT 13, BLOCK 13; LOT 14, BLOCK 14; LOT 15, BLOCK 15; AND LOT 16, BLOCK 16 ARE COMMON LOTS AND SHALL BE OWNED AND MAINTAINED BY THE VISTA RIDGE HOMEOWNERS ASSOCIATION.
 - THIS DEVELOPMENT RECOGNIZES SECTION 22-4003 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION OR AN APPLICABLE ACTIVITY TO IT SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING MINERALS, AGRICULTURAL ACTIVITIES AFTER THE SAME HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME THE OPERATION BEGAN; PROVIDED RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION OR APPLICABLE ACTIVITY TO IT."
 - REFERENCE IS MADE TO PUBLIC HEALTH LETTER ON FILE WITH THE STATE OF IDAHO, DATED 11/11/04, CONCERNING THE INSTALLATION OF ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
 - LOT 53, BLOCK 11; LOT 1, BLOCK 12; LOT 12, BLOCK 13; LOT 13, BLOCK 13; LOT 14, BLOCK 14; LOT 15, BLOCK 15; AND LOT 16, BLOCK 16 SHALL HAVE A PERMANENT NON-EXCLUSIVE BLANKET EASEMENT FOR PUBLIC UTILITIES, DRAINAGE AND IRRIGATION.
 - THE SURVEY CERTIFIES THAT THE INTERIOR ADJUSTMENTS SHOWN HEREON AS IDENTIFIED IN THE LEGEND SHALL BE SET IN ACCORDANCE WITH SECTION 50-1303 IDAHO CODE OR BY REFERENCE.



LINE	BEARING	LENGTH
L1	N89°21'30.71\"	65.00
L2	S89°29'58.71\"	1.93
L3	N89°03'29.71\"	65.00
L4	S89°29'58.71\"	2.16
L5	N44°29'02.71\"	13.54
L6	N43°01'48.71\"	30.30
L7	S89°29'58.71\"	2.16
L8	N44°29'02.71\"	13.54
L9	S89°29'58.71\"	2.16
L10	S43°02'33.71\"	26.32
L11	S43°02'33.71\"	15.00
L12	N43°10'27.71\"	100.00
L13	N43°10'27.71\"	60.00
L14	N43°10'27.71\"	62.87
L15	N43°10'27.71\"	52.83
L16	N43°10'27.71\"	70.00
L17	N43°10'27.71\"	120.14
L18	S43°02'33.71\"	53.62
L19	N43°10'27.71\"	22.85
L20	N43°10'27.71\"	117.05
L21	S43°02'33.71\"	84.03
L22	S43°02'33.71\"	103.98
L23	S43°02'33.71\"	78.33
L24	S43°02'33.71\"	31.48
L25	S43°02'33.71\"	138.51
L26	S43°02'33.71\"	55.14
L27	S43°02'33.71\"	92.00
L28	S43°02'33.71\"	43.23
L29	S43°02'33.71\"	23.88
L30	S43°02'33.71\"	10.89
L31	S43°02'33.71\"	25.00
L32	S43°02'33.71\"	25.00
L33	S43°02'33.71\"	25.00
L34	S43°02'33.71\"	25.00
L35	S43°02'33.71\"	25.00
L36	S43°02'33.71\"	25.00
L37	S43°02'33.71\"	25.00
L38	S43°02'33.71\"	25.00
L39	S43°02'33.71\"	25.00
L40	S43°02'33.71\"	25.00
L41	S43°02'33.71\"	25.00
L42	S43°02'33.71\"	25.00
L43	S43°02'33.71\"	25.00
L44	S43°02'33.71\"	25.00

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD	BEARING	CHORD DISTANCE
C1	267.50	67.50	24.18	N89°21'30.71\"	23.15	23.15	23.15
C2	20.00	303.79	1.07	S89°29'58.71\"	1.07	1.07	1.07
C3	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C4	60.00	3076.65	62.57	S89°29'58.71\"	61.89	61.89	61.89
C5	246.00	4202.08	176.98	S89°29'58.71\"	172.05	172.05	172.05
C6	65.00	3071.38	66.17	S89°29'58.71\"	65.17	65.17	65.17
C7	65.00	3071.38	66.17	S89°29'58.71\"	65.17	65.17	65.17
C8	246.00	4202.08	176.98	S89°29'58.71\"	172.05	172.05	172.05
C9	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C10	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C11	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C12	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C13	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C14	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C15	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C16	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C17	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C18	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C19	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C20	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C21	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C22	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C23	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C24	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C25	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C26	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C27	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C28	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C29	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C30	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C31	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C32	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C33	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C34	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C35	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C36	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C37	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C38	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C39	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C40	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C41	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C42	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C43	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C44	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C45	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C46	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C47	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C48	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C49	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C50	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C51	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C52	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C53	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C54	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C55	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C56	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C57	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C58	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C59	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C60	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C61	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C62	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C63	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C64	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C65	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C66	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C67	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C68	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C69	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C70	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C71	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C72	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01
C73	212.50	677.06	36.05	N174°29'07.71\"	36.01	36.01	36.01

NOTE: SEE SHEETS 1, 2 AND/OR 3 FOR LEGEND

FOX LAND SURVEYS, INC.
4806 OVERLAND ROAD SUITE 102 BOSE ID 83705
208-342-7857 - FAX 208-342-7457

274-03-3-3-0-00-00
INDEX#274-03-3-0-00-00

100' NO ACCESS EASEMENT

FLAT SHOWING
VISTA RIDGE SUBDIVISION PHASE 2

EXHIBIT 'A'

CERTIFICATE OF OWNER
KNOW ALL MEN BY THESE PRESENTS, THAT VISTA PROPERTIES LLC, C/O VISION LAND MANAGEMENT LLC, AN IDAHO LIMITED LIABILITY COMPANY, IS THE OWNER OF THE PROPERTY DESCRIBED AS FOLLOWS:

A portion of the Southwest 1/4, Section 3 North, Range 2 West, Boise Meridian, Chayona County, Idaho more particularly described as follows:
South 3720'31" East a distance of 53.42 feet to the beginning of a curve to the left, at a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 64°27'41" West a distance of 25.00 feet;
along said curve to the left having a length of 42.37 feet, a radius of 80.00 feet, a central angle of 37°20'43", tangents of 21.88 feet, and a long chord which bears South 50°42'40" East, a distance of 41.88 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 24°09'59" West a distance of 25.00 feet;
South 65°37'01" East a distance of 94.03 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 28°23'04" West a distance of 25.07 feet;
South 3720'31" East a distance of 103.08 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 24°48'52" West a distance of 25.04 feet;
South 7370'25" East a distance of 79.33 feet to the beginning of a curve to the right at a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 16°36'35" West a distance of 25.00 feet;
along said curve to the right having a length of 173.88 feet, a radius of 240.00 feet, a central angle of 45°00'36", tangents of 92.15 feet, and a long chord which bears South 25°07'11" East, a distance of 172.05 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 58°33'51" West a distance of 25.00 feet;
South 31°00'08" East a distance of 31.48 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 68°32'11" West a distance of 25.38 feet;
South 11°48'28" East a distance of 138.51 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 70°29'27" West a distance of 25.21 feet;
South 08°29'28" East a distance of 20.14 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 38°48'10" West a distance of 25.08 feet;
South 31°00'08" East a distance of 82.00 feet to the beginning of a curve to the right at a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 58°33'51" West a distance of 25.00 feet;
along said curve to the right having a length of 88.88 feet, a radius of 85.00 feet, a central angle of 80°13'35", tangents of 24.47 feet, and a long chord which bears South 08°35'16" East, a distance of 88.17 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears North 75°46'28" West a distance of 25.00 feet;
South 18°13'31" West a distance of 43.23 feet to the beginning of a curve to the left at a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears North 73°46'08" West a distance of 25.00 feet;
along said curve to the left having a length of 28.71 feet, a radius of 80.00 feet, a central angle of 45°32'02", tangents of 46.54 feet, and a long chord which bears South 15°32'33" East, a distance of 84.33 feet to a point from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 42°48'28" West a distance of 25.00 feet;
South 47°18'24" East a distance of 23.48 feet to a point on the West 1/4th Line of said Section 3 from which a set 5/8 inch rebar with plastic cap stamped 'TLS PLS 7612' bears South 02°21'11" West a distance of 33.82 feet;
thence bearing said Center Line of the North Robinson Lateral and contributing along the West 1/4th Line of said Section 3, South 02°21'11" West a distance of 859.87 feet to the TRUE POINT OF BEGINNING;
Containing 728,328 square feet, 16,972 acres, more or less.
The Date of bearing for this description is between the found Brass Cap monument at the West 1/4 corner of Section 3, of said Township and Range and the found 5/8 inch rebar at the South west 1/8 corner of said Section 3 and Bears North 02°21'11" East as shown on Record of Survey Instrument Number 8777978.

IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE THE ABOVE DESCRIBED PROPERTY IN THIS PLAT AND TO DEDICATE TO THE PUBLIC FOREVER THE PUBLIC STREETS HERBY, EAST ALEXIS LOOP, EAST ALEXIS COURT, EAST SUNRISE INN ROAD, SOUTH SCHÖBER LOOP, SOUTH SCHÖBER STREET AND LOCUST LAKE. THE EASEMENTS INDICATED ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, BUT THE RIGHT TO USE SAID EASEMENTS IS PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND FOR SUCH OTHER USES AS DESIGNATED HEREON. NO PERMANENT STRUCTURES OTHER THAN FOR SUCH UTILITY PURPOSES ARE TO BE ERRECTED WITHIN THE LIMITS OF THE EASEMENTS SHOWING HEREON. ALL OF THE LOTS IN THIS PLAT WILL BE DEEMED TO BE SUBJECT TO RESERVE WATER RIGHTS FROM THE EXISTING CITY OF NAHEPA WATER SYSTEM, AND THE CITY HAS AGREED IN WRITING TO SERVE ALL OF THE LOTS IN THIS SUBDIVISION.
VISTA PROPERTIES LLC
C/O VISION LAND MANAGEMENT LLC
BY: Randy Clarno, Managing Member
NOTARY PUBLIC
COUNTY OF IDAHO
ON THIS 12 DAY OF July 2005, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR THE STATE OF IDAHO, PERSONALLY APPEARED RANDY CLARNO, known to me to be the MANAGING MEMBER OF VISTA PROPERTIES LLC, C/O VISION LAND MANAGEMENT LLC, AN IDAHO LIMITED LIABILITY COMPANY, WHO HAS REQUESTED THE UNDERSIGNED TO PREPARE AND RECORD THIS INSTRUMENT AND WHO HAS REQUESTED THE UNDERSIGNED TO EXECUTE THE NECESSARY LIENABILITY COMPANY DOCUMENTS TO BE THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.
ANUSYVA BOLD
NOTARY PUBLIC
RESIDING AT: 2000 W. 10th
BY COMMISSION EXPIRES: 12/31/08

FOX LAND SURVEYS, INC.
4696 OVERLAND ROAD SUITE 162 BOISE ID 83705
208-342-7857 - FAX 208-342-7437
ACAD OWS FILE 33087-PHO-984(-25-03) SHEET 5 OF 6

FLAT SHOWING
VISTA RIDGE SUBMISSION PHASE 2

EXHIBIT 'A'

APPROVAL OF CITY COUNCIL
I, THE UNDERSIGNED, DEPUTY CLERK IN AND FOR THE CITY OF MAPPA, CANYON COUNTY, IDAHO, DO HEREBY CERTIFY THAT
AT A REGULAR MEETING OF THE MAPPA CITY COUNCIL HELD ON THE 22ND DAY OF SEPTEMBER, 2002, THIS
PLAT WAS DULY ACCEPTED AND APPROVED.

David L. Burke
CITY CLERK OF MAPPA, IDAHO
MAPPA PLANNING AND ZONING COMMISSION



APPROVAL OF CITY PLANNING AND ZONING COMMISSION
THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MAPPA,
IDAHO ON THE 12TH DAY OF SEPTEMBER, 2002.

David L. Burke
CHAIRMAN
MAPPA PLANNING & ZONING COMMISSION

Thomas L. Hillis
MEMBER
MAPPA PLANNING & ZONING COMMISSION

APPROVAL OF CITY ENGINEER
I, THE UNDERSIGNED, CITY ENGINEER FOR THE CITY OF MAPPA, CANYON COUNTY, IDAHO, HEREBY APPROVE THIS PLAT.

Michael J. Fox
MAPPA CITY ENGINEER

COUNTY TREASURER'S CERTIFICATE
I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF CANYON, STATE OF IDAHO, FOR THE REQUIREMENTS OF
IDAHO CODE 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR
THE PROPERTY INCLUDED IN THIS PROPOSED SUBMISSION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT
THIRTY (30) DAYS ONLY.

Thomas L. Hillis
COUNTY TREASURER
DATE Dec. 8, 2005

CERTIFICATE OF COUNTY SURVEYOR
I, THE UNDERSIGNED, COUNTY SURVEYOR FOR CANYON COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT IN
ACCORDANCE WITH IDAHO CODE, TITLE 50, CHAPTER 13, RELATING TO PLATS AND VARIATIONS.

David F. Lambert
CANYON COUNTY SURVEYOR
DATE 11/19/02

HEALTH RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13, HAVE BEEN SATISFIED BASED ON THE DEED
APPROVAL OF THE ZONING PLANS AND SPECIFICATIONS AND THE CONDITIONS IMPOSED ON THE DEVELOPER FOR CONTAINED
SANITARY FACILITIES WERE CONSTRUCTED. BUYER IS CAUTIONED THAT AT THE TIME OF THIS APPROVAL, NO DRINKING WATER OR
SEWER/ASFPIC FACILITIES WERE CONSTRUCTED. BUILDING CONSTRUCTION CAN BE ALLOWED WITH APPROPRIATE BUILDING PERMITS
IF DRINKING WATER OR SEWER FACILITIES HAVE SINCE BEEN CONSTRUCTED ON IF THE DEVELOPER IS SMALL IMMEDIATELY
TO OBTAIN BUILDING PERMITS. THE COUNTY ENGINEER SHALL BE NOTIFIED OF ANY CONSTRUCTION OF SUCH FACILITIES BY THE
OWNER. SANITARY RESTRICTIONS MAY BE RELAXED IN ACCORDANCE WITH SECTION 10-102, IDAHO CODE, BY THE RESUME OF
A CERTIFICATE OF DISAPPROVAL AND NO CONSTRUCTION OF ANY BUILDING OR WELLS REQUIRING DRINKING WATER OR
SEWER/ASFPIC FACILITIES SHALL BE ALLOWED.

Robert A. Parker
DISTRICT HEALTH DEPARTMENT, IDHS
DATE 9/16/02

CERTIFICATE OF SURVEYOR

I, TIMOTHY J. FOX, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO AND
THIS PLAT AS DESCRIBED IN THE CERTIFICATE OF OWNERS AND THE ATTACHED PLAT, WAS DRAWN FROM AN ACTUAL SURVEY
MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED HEREON IN
CONFORMITY WITH THE STATE OF IDAHO CODES RELATING TO PLATS, SURVEYS AND THE COMMON PRACTICE AND PLANNING ACT,
IDAHO CODE 50-1001 THROUGH 50-1012.



TIMOTHY J. FOX, P.L.S.
LICENSE NO. 7812

PREPARED BY
FOX LAND SURVEYS, INC.
4686 OVERLAND ROAD SUITE 102 BOISE ID 83705
208-342-7967 - FAX 208-342-7437

Schedule II - Phase 2 Legal Description

TITLEONE CORPORATION

Authorized agent for:

FIDELITY NATIONAL TITLE INSURANCE COMPANY

SCHEDULE C
PROPERTY DESCRIPTION

File Number: C047072

The land referred to in this Policy is described as follows:

PARCEL A

A portion of the Southwest quarter, Section 3, Township 2 North, Range 2 West, Boise Meridian, Canyon County, Idaho more particularly described as follows;

Beginning at the found Brass Cap at the West 1/16 corner common to Section 10 and said Section 3, Township 2 North, Range 2 West, said Brass Cap is on the center line of Locust Lane and is the TRUE POINT OF BEGINNING; from which a found 5/8 inch rebar with plastic cap stamped "JUB PLS 944" at the Southwest 1/16 corner of said Section 3 bears North 00°21'11" East a distance of 1326.34
thence North 89°50'35" West a distance of 462.76 feet along the Section line common to said Sections 3 and 10 to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 00°09'25" East a distance of 145.43 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 44°50'35" West a distance of 13.54 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 89°50'35" West a distance of 1.93 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 00°09'25" East a distance of 55.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence South 89°50'35" East a distance of 2.16 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 39°01'45" East a distance of 30.20 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at the beginning of a non-tangent curve to the left;

thence along said non-tangent curve to the left having a length of 1.07 feet, a radius of 20.00 feet, a central angle of 3°03'51", tangents of 0.53 feet, and a long chord which bears North 11°29'30" West, a distance of 1.07 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at a point of compound curvature;

thence along said compound curve having a length of 35.05 feet, a radius of 212.50 feet, a central angle of 9°27'02", tangents of 17.57 feet, and a long chord which bears North 17°44'56" West, a distance of 35.01 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 67°31'33" East a distance of 55.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at the beginning of a non-tangent curve to the left;

TITLEONE CORPORATION

Authorized agent for:

FIDELITY NATIONAL TITLE INSURANCE COMPANY

SCHEDULE C

(Continued)

thence along said non-tangent curve to the left having a length of 23.16 feet, a radius of 267.50 feet, a central angle of $4^{\circ}57'35''$, tangents of 11.58 feet, and a long chord which bears North $24^{\circ}57'15''$ West, a distance of 23.15 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence South $89^{\circ}50'35''$ East a distance of 189.24 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $00^{\circ}21'11''$ East a distance of 87.95 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $22^{\circ}44'07''$ East a distance of 84.90 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at the beginning of a non-tangent curve to the right;

thence along said non-tangent curve to the right having a length of 16.94 feet, a radius of 47.50, a central angle of $20^{\circ}26'20''$, tangents of 8.56 feet, and a long chord which bears North $57^{\circ}02'43''$ West, a distance of 16.85 feet to a point of tangency at a 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $46^{\circ}49'33''$ West a distance of 66.70 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $43^{\circ}10'27''$ East a distance of 100.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $46^{\circ}49'33''$ West a distance of 400.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $43^{\circ}10'27''$ East a distance of 155.00 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at a point on the Easterly boundary line of Vista Ridge Subdivision Phase 1;

thence along said Easterly boundary line of Vista Ridge Subdivision Phase 1 the following courses and distances:

North $46^{\circ}49'33''$ West a distance of 26.32 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North $43^{\circ}10'27''$ East a distance of 100.00 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North $46^{\circ}49'33''$ West a distance of 80.00 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

South $43^{\circ}10'27''$ West a distance of 15.00 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

TITLEONE CORPORATION

Authorized agent for:

FIDELITY NATIONAL TITLE INSURANCE COMPANY

SCHEDULE C

(Continued)

North 46°49'33" West a distance of 250.00 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North 43°10'27" East a distance of 45.97 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North 51°28'04" West a distance of 240.79 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North 62°11'09" West a distance of 52.63 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North 12°34'20" East a distance of 70.00 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North 54°00'30" East a distance of 120.14 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North 35°59'30" West a distance of 22.65 feet to a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

North 54°00'30" East a distance of 117.05 feet to a point on the Center Line of the North Robinson Lateral from which a found 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 54°00'30" West a distance of 30.00 feet;

thence leaving said Easterly boundary line of Vista Ridge Subdivision Phase 1 and continuing along said Center Line of the North Robinson Lateral the following courses and distances:

South 35°32'20" East a distance of 53.42 feet to the beginning of a curve to the left, at a point from which a set 5/8" rebar with plastic cap stamped "FLSI PLS 7612" bears South 54°27'41" West a distance of 25.00 feet;

along said curve to the left having a length of 42.37 feet, a radius of 80.00 feet, a central angle of 30°20'43", tangents of 21.69 feet, and a long chord which bears South 50°42'40" East, a distance of 41.88 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 24°06'59" West a distance of 25.00 feet;

South 65°53'01" East a distance of 84.03 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 28°23'04" West a distance of 25.07 feet;

South 57°20'51" East a distance of 103.68 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 24°48'52" West a distance of 25.24 feet;

South 73°01'25" East a distance of 79.33 feet to the beginning of a curve to the right at a point from which a set

TITLEONE CORPORATION

Authorized agent for:

FIDELITY NATIONAL TITLE INSURANCE COMPANY

SCHEDULE C

(Continued)

5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 16°58'35" West a distance of 25.00 feet along said curve to the right having a length of 175.96 feet, a radius of 240.00 feet, a central angle of 42°00'28", tangents of 92.15 feet, and a long chord which bears South 52°01'11" East, a distance of 172.05 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 58°53'51" West a distance of 25.00 feet;

South 31°06'09" East a distance of 31.48 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 68°32'11" West a distance of 25.36 feet;

South 11°49'28" East a distance of 136.51 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 70°50'27" West a distance of 25.21 feet;

South 26°29'38" East a distance of 58.14 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 59°45'10" West a distance of 25.06 feet;

South 34°00'03" East a distance of 92.00 feet to the beginning of a curve to the right at a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 55°59'57" West a distance of 25.00 feet;

along said curve to the right having a length of 56.98 feet, a radius of 65.00 feet, a central angle of 50°13'35", tangents of 30.47 feet, and a long chord which bears South 08°53'16" East, a distance of 55.17 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears North 73°46'29" West a distance of 25.00 feet;

South 16°13'31" West a distance of 43.23 feet to the beginning of a curve to the left at a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears North 73°46'09" West a distance of 25.00 feet;

along said curve to the left having a length of 88.71 feet, a radius of 80.00 feet, a central angle of 63°32'02", tangents of 49.54 feet, and a long chord which bears South 15°32'33" East, a distance of 84.23 feet to a point from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 42°41'26" West a distance of 25.00 feet;

South 47°18'34" East a distance of 23.69 feet to a point on the West 1/16th line of said Section 3 from which a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" bears South 00°21'11" West a distance of 33.82 feet;

thence leaving said Center Line of the North Robinson Lateral and continuing along the West 1/16th Line of Said Section 3, South 00°21'11" West a distance of 959.87 feet to the TRUE POINT OF BEGINNING.

PARCEL B

A portion of the Southwest quarter, Section 3, Township 2 North, Range 2 West, Boise Meridian, Canyon County, Idaho more particularly described as follows feet:

Beginning at the found Brass Gap marking the Southwest corner common to Sections 3, 4, 9, and 10, Township

TITLEONE CORPORATION

Authorized agent for:

FIDELITY NATIONAL TITLE INSURANCE COMPANY

SCHEDULE C

(Continued)

2 North, Range 2 West, from which a found Brass Cap marking the West 1/16 corner common to said Sections 3 and 10 bears South 89°50'35" East, a distance of 1,261.63 feet; thence North 45°19'31" East, a distance of 979.13 feet to the TRUE POINT OF BEGINNING; thence North 43°10'27" East, a distance of 190.40 feet to a point; thence South 46°49'33" East, a distance of 330.44 feet to a point; thence South 43°10'27" West, a distance of 100.00 feet to a point; thence South 46°49'33" East, a distance of 66.70 feet to the beginning of a curve to the left; thence along said curve to the left having a length of 16.94 feet, a radius of 47.50 feet, a central angle of 20°26'20", tangents of 8.56 feet, and a long chord which bears South 57°02'43" East a chord distance of 16.85 feet to a point of non-tangency; thence South 22°44'07" West, a distance of 84.90 feet to a point; thence South 00°21'11" West, a distance of 87.95 feet to a point; thence North 89°50'35" West, a distance of 189.24 feet to the beginning of a non-tangent curve to the right, thence along said non-tangent curve to the right having a length of 23.16 feet, a radius of 267.50 feet a central angle of 40°57'35", tangents of 11.58 feet, and a long chord which bears South 24°57'15" East, a chord distance of 23.15 feet to a point of non-tangency; thence South 67°31'33" West, a distance of 55.00 feet to the beginning of a non-tangent curve to the left; thence along said non-tangent curve to the left having a length of 59.09 feet, a radius of 212.50 feet, a central angle of 15°56'01", tangents of 29.14 feet, and a long chord which bears North 30°26'28" West, a chord distance of 58.90 feet to a point of non-tangency; thence North 51°35'32" East, a distance of 159.00 feet to a point; thence North 46°49'33" West, a distance of 175.36 feet to a point; thence North 03°08'10" East, a distance of 84.38 feet to a point; thence North 46°49'33" West, a distance of 100.72 feet to a point; thence North 43°10'27" East, a distance of 190.40 feet to the TRUE POINT OF BEGINNING.

FOX Land Surveys, Inc.

4696 W Overland Rd, STE 162 Δ Boise, ID Δ 83705 Δ 208-342-7957 Δ 208-342-7437 FAX

VISTA RIDGE PHASE 2 ADDITIONAL PROPERTY DESCRIPTION A PORTION OF THE SOUTHWEST ¼, SECTION 3, TOWNSHIP 2 NORTH, RANGE 2 WEST, BOISE MERIDIAN, CANYON COUNTY, IDAHO

A portion of the Southwest ¼, Section 3, Township 2 North, Range 2 West, Boise Meridian, Canyon County, Idaho more particularly described as follows feet;

Beginning at the found Brass Cap Monument marking the West 1/16 corner common to Sections 10 and 3, Township 2 North, Range 2 West, (said Monument is on the center line of Locust Lane); from which a found 5/8 inch rebar with plastic cap stamped "JUB PLS944" marking the Southwest 1/16 corner of Section 3 bears North 00°21'11" East, a distance of 1,326.34 feet;

thence North 89°50'35" West, a distance of 462.76 feet along the common boundary of Sections 3 and 10 to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 00°09'25" East, a distance of 145.43 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 44°50'35" West, a distance of 13.54 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 89°50'35" West, a distance of 1.93 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 00°09'25" East, a distance of 55.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence South 89°50'35" East, a distance of 2.16 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North 39°01'45" East, a distance of 30.20 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at the beginning of a non-tangent curve to the left;

thence along said non-tangent curve to the left having a length of 1.07 feet, a radius of 20.00 feet, a central angle of 3°03'51, tangents of 0.53 feet, and a long chord which bears North 11°29'30" West, a distance of 1.07 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at a point of compound curvature;

6

thence along said compound curve having a length of 35.05 feet, a radius of 212.50 feet, a central angle of $9^{\circ}27'02''$, tangents of 17.57 feet, and a long chord which bears North $17^{\circ}44'56''$ West, a distance of 35.01 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $67^{\circ}31'33''$ East, a distance of 55.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612" at the beginning of a non-tangent curve to the left;

thence along said non-tangent curve to the left having a length of 23.16 feet, a radius of 267.50 feet, a central angle of $4^{\circ}57'35''$, tangents of 11.58 feet, and a long chord which bears North $24^{\circ}57'15''$ West, a distance of 23.15 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence South $89^{\circ}50'35''$ East, a distance of 109.24 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $00^{\circ}21'11''$ East, a distance of 70.30 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $56^{\circ}08'39''$ West, a distance of 67.41 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $46^{\circ}49'33''$ West, a distance of 175.36 feet to a set 1/2 inch rebar with plastic cap stamped "FLSI PLS 7612" at the **TRUE POINT OF BEGINNING**;

thence continuing North $46^{\circ}49'33''$ West, a distance of 55.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $43^{\circ}10'27''$ East, a distance of 44.60 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $46^{\circ}49'33''$ West, a distance of 100.00 feet to a set 5/8 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence North $43^{\circ}10'27''$ East, a distance of 20.00 feet to a set 1/2 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence South $46^{\circ}49'33''$ East, a distance of 100.72 feet to a set 1/2 inch rebar with plastic cap stamped "FLSI PLS 7612";

thence South $03^{\circ}08'10''$ West, a distance of 84.38 feet to the **TRUE POINT OF BEGINNING**.

7

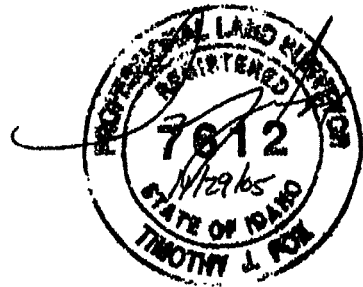
Containing 3,799 square feet, 0.087 acres, more or less.

Subject to existing easements and rights-of-way as any may exist, of record or not of record.

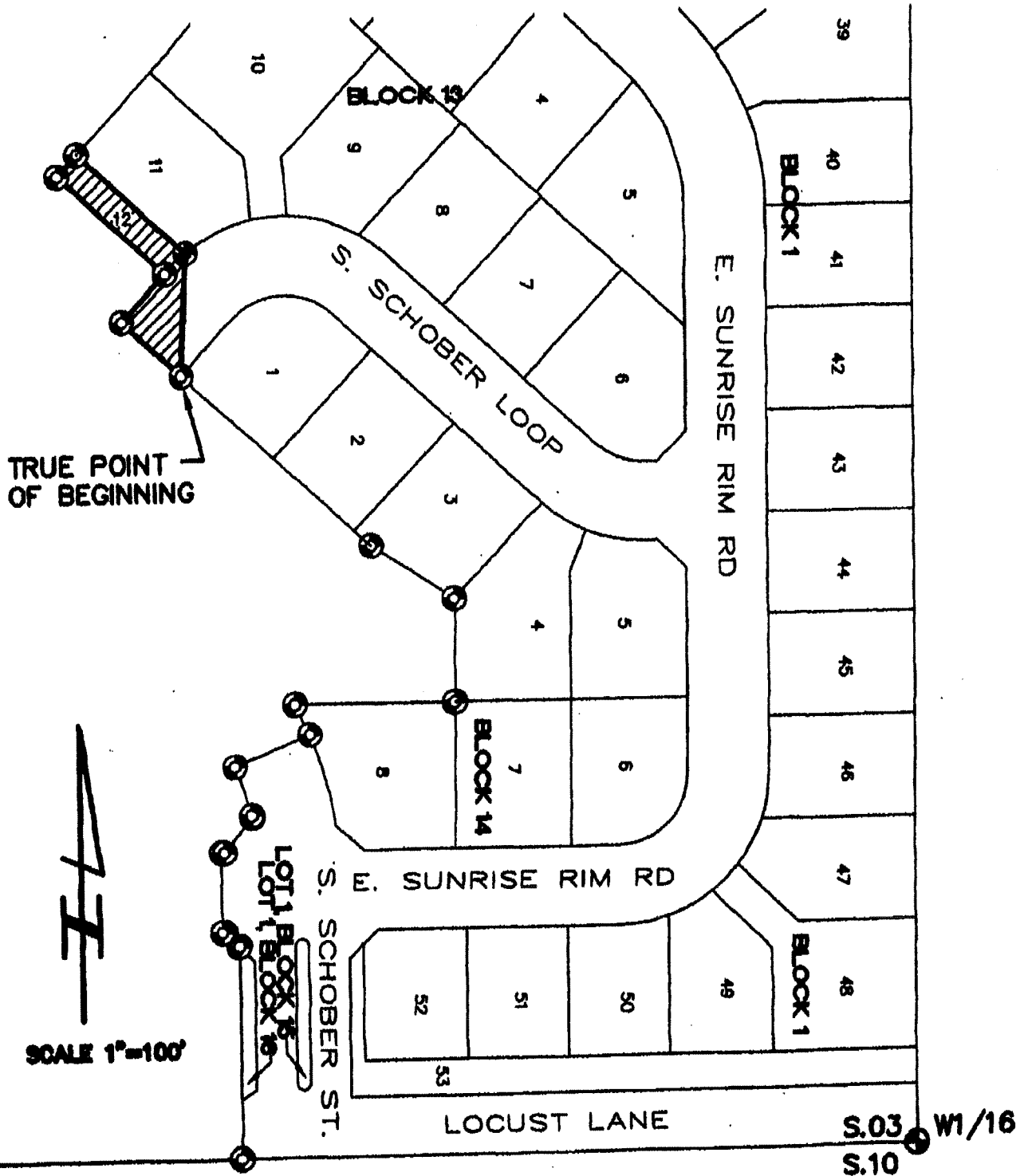
The Basis of Bearings for this description is from the found Brass Cap Monument marking the West 1/16 corner of Section 3 to the found 5/8 inch rebar marking the Southwest 1/16 corner of said Section' which bears North 00°21'11" East, as shown on Record of Survey Instrument Number 9717919.

Fox Land Surveys, Inc.
Timothy J. Fox, President, PLS 7612

END OF DESCRIPTION



VISTA RIDGE PHASE 2 ADDITIONAL PURCHASE AREA 11-29-05



9